



P.O. BOX 6097
HOUMA, LOUISIANA 70361
(985) 868-5050



P.O. BOX 2768
HOUMA, LOUISIANA 70361
(985) 868-3000

TERREBONNE PARISH CONSOLIDATED GOVERNMENT

MEMBERS

Trudy Hebert, Chair
Willie Newton, Vice Chair
Joe Harris, Secretary

Pete Konos
David Tauzin
Matthew Chatagnier

NOTICE TO THE PUBLIC: If you wish to address the Board, please notify the Chairman prior to the beginning of the meeting. Individuals addressing the Board should be respectful of others in their choice of words and actions. Please silence all cell phones, pagers or electronic devices used for communication for the duration of the meeting.

HOUMA BOARD OF ADJUSTMENT MEETING NOTICE

DATE: Monday, July 22, 2019
TIME: 3:30 PM
PLACE: Terrebonne Parish Council Meeting Room
2nd Floor, Government Tower
8026 Main Street, Houma, LA 70360

A • G • E • N • D • A

1. Pledge of Allegiance
2. Roll Call
3. Announcements
4. Approve Minutes of June 24, 2019
5. New Business:
 - a. Structure Variance: (1) Front yard setback from required 20' to 15.0'; and, (2) Rear yard setback from required 25' to 8'-4" for new residential construction located at 207 Authement Street; (Council District 1; City of Houma Fire District); *Options for Independence, applicant.*
 - b. Structure Variance: Variance to allow for placement of second façade sign on front of commercial building in Overlay District located at 1548 Martin Luther King Blvd.; (Council District 3; Bayou Cane Fire District); *SignArt, applicant.*
 - c. Structure Variance: Variance from maximum driveway width of 35' to 158' for commercial light industrial development located at 1426 Valhi Blvd.; (Council District 6; Bayou Cane Fire District); *Terre South Investments, Inc., applicant.*
 - d. Structure Variance: Variance to allow for placement of second façade sign on side of commercial building in Overlay District located at 1708 Martin Luther King Blvd., Ste 102; (Council District 3; Bayou Cane Fire District); *Nice Signs, Inc., applicant.*
 - e. Structure Variance: Rear setback from required 25' to 23' for new residential construction located at 339 Karoline Elizabeth; (Council District 8; City of Houma Fire District); *Kevin Burton, applicant.*
7. Next Meeting Date: August 19, 2019
8. Board of Adjustment Member Comment
9. Public Comment
10. Adjourn

HOUMA BOARD OF ADJUSTMENT
Official Proceedings
of
June 24, 2019

Government Tower
2nd Floor, Terrebonne Parish Council Meeting Room

1. The Chairman, Trudy Hebert, called the June 24, 2019 meeting of the Houma Board of Adjustments to order at 3:32 p.m., followed by the Pledge of Allegiance led by Mr. Pete Konos.
2. Upon Roll Call, those members present were Mrs. Trudy Hebert, Mr. Willie Newton, Mr. Joe Harris, Mr. Pete Konos and Mr. Matt Chatagnier.
3. Also present was Mr. Christopher Pulaski, TPCG Planning Director and Katie Tabor, Land Use Planner II.
Absent was Mr. David Tauzin due to an out of town business conflict.
3. Announcements: Mr. Pulaski announced that one of the Item Agendas (6-c) has been withdrawn. He read the letter from the applicant explaining the situation.
4. Approval of Minutes of May 20, 2019:
MOTION was made by Mr. Joe Harris to **APPROVE** the minutes of the May 20, 2019. **THERE BEING NO OPPOSITION, THE MOTION PASSED UNANIMOUSLY.**

5. OLD BUSINESS:

- a. Structure Variance: Side yard setback from the required 5' to 2' for placement of an open carport and storage shed in an R-1 zoned district.

Chair recognized Mr. Chris Jaubert who stated that he wishes to build an open carport with shed to shelter his boat.

Chair recognized Mr. Christopher Pulaski who stated that the applicant is requesting a Variance. The applicant submitted this variance request at the May 20, 2019 Board of Adjustment meeting. The request was **CONTINUED** to allow time for additional review.

Applicant wishes to add to the existing driveway and place an open carport and shed at the end of the driveway addition for boat and equipment storage for personal use. The space between the existing home and the property line is not able to accommodate the size shed the applicant desires without a variance.

Staff feels that the exception will not alter the essential character of the district in which it is located as many structures have similar or lesser setbacks. The exception will not substantially or permanently injure the appropriate use of adjacent conforming property in the same district. The exception will not adversely affect the public health, safety, or welfare of the district.

A site visit was performed and all property owners adjacent to and within a 250' radius of the subject property have been notified. Staff received one call of No Objection pertaining to the request in addition to the letter by the Councilwoman.

Staff recommends **APPROVAL** of the request on the **CONDITION** that the applicant installs gutters and downspouts to direct the flow of water towards the street and away from adjacent properties.

A **MOTION** to **APPROVE** with **CONDITION** recommended by parish staff was made by Mr. Joe Harris, seconded by Mr. Willie Newton.

ROLL CALL VOTE:

YEAS: Newton, Harris, Konos

NAYS: NONE

ABSTAINED: None

NOT VOTING: Voison, Chatagnier

Chair declared the **MOTION to APPROVE request with CONDITION passed.**

6: NEW BUSINESS:

a. Structure Variance: (1) Front setback from required 25' to 20.9'; and, (2) Rear setback from required 10' to 5' for certain portions of a proposed commercial building.

Chair recognized Mr. Ken Rembert, representing Terre South Investments, Inc who stated that applicant has a proposed building he wishes to sell but, because of the shape of the lot, is having difficulties placing the building that the buyer wants on the property without a variance approval.

Chair recognized Mr. Christopher Pulaski who stated that The applicant is requesting (1) Front setback from required 25' to 20.9'; and, (2) Rear setback from required 10' to 5' for certain portions of a proposed commercial building.

Applicant intends to sell the vacant property to a buyer who intends to construct a new commercial building. Because of the unique shape and lot configuration, one of the front corners and one of the rear corners of the proposed building encroach into the setbacks. The front of the property faces Valhi Blvd and the rear faces adjacent light industrial properties along with a large drainage canal.

Staff feels that the exception will not alter the essential character of the district in which it is located as many structures have similar or lesser setbacks and the proposed encroachment is only for a small portion of the structure. The exception will not substantially or permanently injure the appropriate use of adjacent conforming property in the same district. The exception will not adversely affect the public health, safety, or welfare the district.

A site visit was performed and all property owners adjacent to and within a 250' radius have been notified. Staff received no call regarding the request.

Staff recommends APPROVAL of the request.

A **MOTION to APPROVE** was made by Joe Harris and seconded by Mr. Willie Newton.

ROLL CALL VOTE:

YEAS: Newton, Harris, Konos

NAYS: NONE

ABSTAINED: None

NOT VOTING: Voison, Chatagnier

b. Structure Variance: (1) Rear setback from required 30' to 5.5' for the main residence; and, (2) Rear setback from required 5' to 1.2' for accessory structure in an R-1 zoned district.

Chair recognized Mr. Ken Rembert, representing applicant, who stated that Mr. Sobert has several structures on the property and wished to separate the apartments from the main house in order for the buyer to secure a mortgage on the home.

Chair recognized Mr. Christopher Pulaski who stated that the applicant is requesting: (1) Rear setback from required 30' to 5.5' for the main residence; and (2) Rear setback from required 5' to 1.2' for accessory structure.

Both structures are existing and the need for a variance is associated with a proposed subdivision of the property. Applicant received approval of the variance requests. Staff feels that the exception will not alter the essential character of the district in which it is located as both structures are existing and several structures in the area have similar or lesser setbacks. The exception will not substantially or permanently injure the appropriate use of adjacent conforming property in the same district. The exception will not adversely affect the public health, safety, or welfare of the district.

A site visit was performed and all property owners adjacent to and within a 250'

radius of the subject property have been notified. Staff received no call regarding the request.

Staff recommends APPROVAL of the request.

After a brief discussion, A MOTION to APPROVE was made by Mr. Willie Newton, SECONDED by Mr. Joe Harris, to APPROVE.

ROLL CALL VOTE:

YEAS: Newton, Harris, Chatagnier

NAYS: NONE

ABSTAINED: None

NOT VOTING: Voison, Konos

d. Structure Variance: Front setback from required 20' to 5' for placement of attached open carport and walkway cover. Chair recognized Mr. Teddy Trosclair, representing applicant, who stated that Mr. Jones received a grant from the V.A. to make his driveway more handicap accessible. He is helping Mr. Jones.

Chair recognized Mr. Christopher Pulaski who stated that the applicant is requesting a Front setback from required 20' to 5' for placement of attached open carport and walkway cover. Owner is a veteran with physical handicaps. This addition to his home is sponsored by a grant from the Veterans Administration to assist him with quality of life issues he is facing regarding his handicaps. The addition of a covered carport will enable him to park the special vehicle he needs under a sheltered area and allow the veteran access to his home from his vehicle in inclement weather.

Staff feels that the exception will not alter the essential character of the district in which it is located as many structures have similar or lesser setbacks. The exception will not substantially or permanently injure the appropriate use of adjacent conforming property in the same district. The exception will not adversely affect the public health, safety, or welfare of the district as this is an open carport and will not hinder line of sight.

A site visit was performed and all property owners adjacent to and within a 250' radius of the subject property have been notified. Staff received no calls regarding the request.

Staff recommends APPROVAL of the request.

ROLL CALL VOTE:

YEAS: Newton, Harris, Konos

NAYS: NONE

ABSTAINED: None

NOT VOTING: Voison, Chatagnier

6. Next Meeting Date: July 22, 2019.
7. Board of Adjustment Member Comment: None
8. Public Comment: NONE
9. There being no further business, Mr. Willie Newton made the **MOTION** to **ADJOURN**, seconded by Mr. Joe Harris.
There being NO OPPOSITION, **MOTION CARRIED**; Chairman declared **MOTION ADOPTED** and the meeting **ADJOURNED**.

Mr. Willie Newton, Secretary

TERREBONNE PARISH CONSOLIDATED GOVERNMENT
URBAN SERVICES DISTRICT

BOARD OF ADJUSTMENT

P.O. BOX 2768
HOUMA, LA 70361

NO APPLICATION ACCEPTED UNLESS COMPLETE

Complete the following:

☐ Special Exception ☒ Structure Variance ☐ Administrative Appeal

2. Applicant's Name: Optima for Independence - Mr. Roosevelt Thomas
3. Applicant's Address: 8326 Main Street - Same
Houma, LA. 70363
4. Applicant's Phone: 985-868-2620 - 985-381-1813
5. Physical Address Of request: 207 Authement St.
Houma, LA. 70363
6. Interest in Ownership: 100% 7. Date of Application: 06-05-19
8. Explanation of Request: (1) Front setback from Reg. 20'
to 15.0'
(2) Rear setback from reg. 25'
to 8.4" for new construction - (house)
- POLICY - R-1

Special Exception

To hear and decide, in accordance with the provisions of this chapter, requests for special exceptions upon which the Board is authorized by this chapter to pass. Special Exceptions shall be subject to such terms and conditions as may be fixed by the Board. No exception shall be authorized unless the Board shall find that all of the following conditions exist:

- That the exception will not authorize of a use other than those uses specifically enumerated for the district in which is located the property for which the exception is sought;
- That the full development is designed and intended to serve the district in which the development is sought to be operated and maintained;
- That the exception is essential to maintain the functional design and architectural integrity of the development;
- That the exception will not substantially or permanently injure the appropriated use of adjacent conforming property in the same district;
- That the exception will not alter the essential character of the district in which is located the property for which the exception is sought;
- That the exception will not weaken the general purposes of this ordinance or the regulations herein established for the specific district;
- That the exception will be in harmony with the spirit and purposes of this ordinance;
- That the exception will not adversely affect the public health, safety, or welfare, or the Master Plan.

Variance

Where by reasons of exceptional narrowness, shallowness or shape of a specified piece of property at the time of enactment of the ordinance from which this section derives or by reason of exceptional topographic conditions or other extraordinary or exceptional characteristics of such piece of property, the strict application of any regulation in this chapter would result in peculiar and exceptional or undue hardship upon the owner of such property, the Board may authorize, upon an appeal relating to such property, a variance from such strict application so as to relieve such difficulties or hardship, provided such relief may be granted without substantial detriment to the public good and without substantially impairing the intent and purpose of this chapter. Variances shall be subject to such terms and conditions as may be fixed by the Board. No variance shall be authorized unless the Board shall find that all of the following conditions exist:

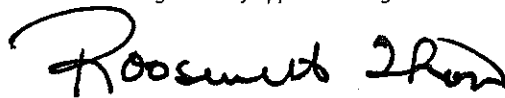
- a) That the variance will not authorize a use other than those uses specifically enumerated for the district in which is located the property for which the variance is sought;
- b) That the development or use of the property for which the variance is sought, if limited by a literal enforcement of the provisions of this chapter, cannot yield a reasonable return in service, use or income as compared to adjacent conforming property in the same district;
- c) That the plight of the owner of the property for which the variance is sought is due to unique circumstances existing on the property, that the unique circumstances were not created by the owner of the property and are not due to the result of general conditions in the district in which the property is located;
- d) That the variance will not substantially or permanently injure the appropriate use of adjacent conforming property in the same district;
- e) That the variance will not alter the essential character of the district in which is located the property for which the variance is sought;
- f) That the variance will not weaken the general purposes of this chapter or the regulations herein established for the specific district;
- g) That the variance will be in harmony with the spirit and purposes of this chapter;
- h) That the variance will not adversely affect the public health, safety, or welfare or the master plan.

Application Fee: Make checks payable to TPCG.

Structure Variance: \$ 20.00 per application + cost of certified mailings.

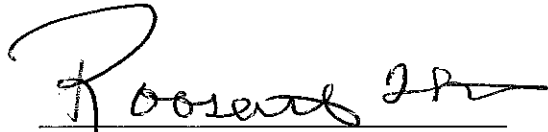
Special Exception: \$ 10.00 per application + cost of certified mailings.

Signature of Applicant or Agent

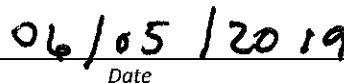


Signature of Applicant or Agent

The undersigned is owner(s) of the entire land area included in the proposal and in signing indicates concurrence with the application.



Signature of Owner



Date

9. Adjacent Property Owners:

Please provide a list of property owners located within 250 feet radius of the subject property along with this application. These property owners shall be notified in the following manner:

Notification shall be sent by Parish Staff by certified mail to the applicant and to the adjacent property owners and by first class mail to all remaining property owners within a two hundred fifty-foot (250') radius. The notice shall advise the purpose, date, time and place of the hearing. **The cost of any certified mail postal fees associated with the notification process shall be borne by the applicant. Cost for each mail will be consistent with the USPS current rates.** Application fees are non-refundable once public notices have been issued.

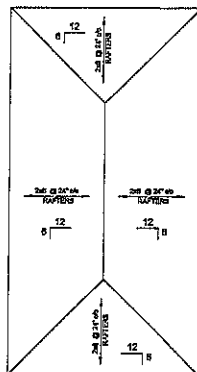


1. ALL DIMENSIONS ARE TO BE VERIFIED BEFORE CONSTRUCTION IS TO BEGAIN. WARRANTY IS LIMITED TO CORRECTIONS ONLY. DO NOT SCALE DRAWINGS TO DETERMINE DIMENSIONS.
2. IT IS RECOMMENDED THAT THESE DRAWINGS & SPECIFICATIONS BE REVIEWED BY AN ARCHITECT OR ENGINEER FOR STRUCTURAL INTEGRITY PRIOR TO CONSTRUCTION.
3. THESE DRAWINGS & SPECIFICATIONS HAVE BEEN PREPARED AS A DRAFTING SERVICE ONLY, FROM INSTRUCTIONS BY THE OWNERS. THEREFORE, IT IS THE SOLE RESPONSIBILITY OF THE OWNERS AND THEIR CONTRACTOR FOR ANY OMISSIONS OR ERRORS CONTAINED HEREIN.
4. THESE NOTES APPLY TO ALL DRAWINGS OF THE SET

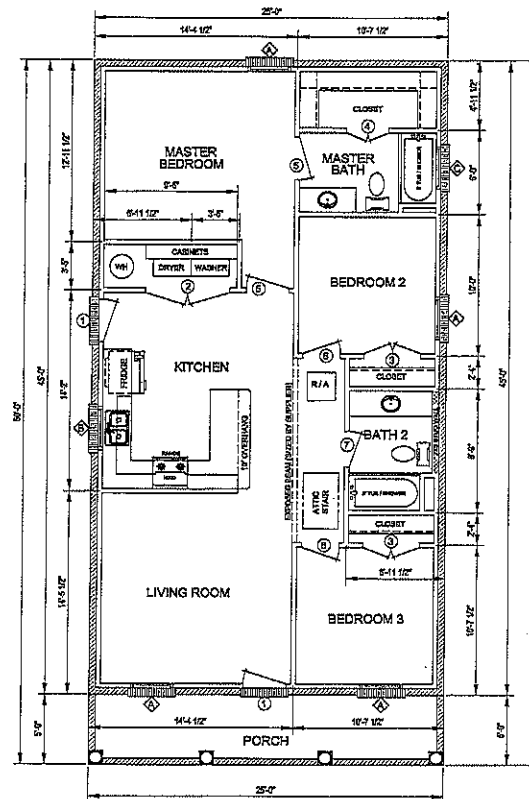
DRAWING NO.	DESCRIPTION
1 OF 4	FLOOR PLAN, FRAMING PLAN & ROOF PLAN
2 OF 4	FOUNDATION PLAN & BASE PLAN
3 OF 4	EXTERIOR ELEVATIONS & ELECTRICAL PLAN
4 OF 4	PLUMBING SCHEMATIC & HVAC S. SCHEMATIC
1 OF 3	INTERNATIONAL RESIDENTIAL CODE - TYPICAL DETAILS
2 OF 3	INTERNATIONAL RESIDENTIAL CODE - GENERAL SECTION
3 OF 3	INTERNATIONAL RESIDENTIAL CODE - GENERAL NOTES

DESIGN WIND SPEED: $V_{ultimate} = 160$

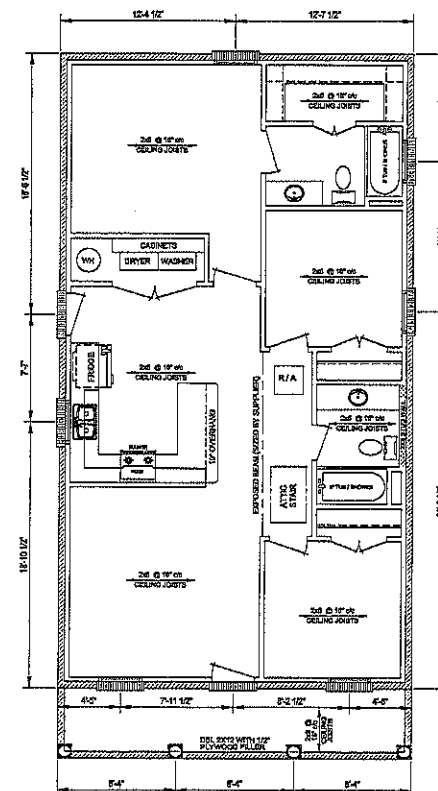
NO.	QTY	DESCRIPTION
1	2000	EXTERIOR DOOR UNIT AS PER ALLOWANCE
2	6000	SLIDING EXTERIOR DOOR UNIT AS PER ALLOWANCE
3	4000	SLIDING INTERIOR DOOR UNIT AS PER ALLOWANCE
4	5000	SLIDING INTERIOR DOOR UNIT AS PER ALLOWANCE
5	3000	INTERIOR DOOR UNIT AS PER ALLOWANCE
6	2000	INTERIOR DOOR UNIT AS PER ALLOWANCE
7	2000	INTERIOR DOOR UNIT AS PER ALLOWANCE
8	2000	INTERIOR DOOR UNIT AS PER ALLOWANCE
A	3000	SLIDING UNIT, WINDOW WITH ALUMINUM
B	3000	SLIDING UNIT, WINDOW WITH ALUMINUM
C	3000	SLIDING UNIT, WINDOW WITH ALUMINUM



SCALE: 1/8" = 1'-0"



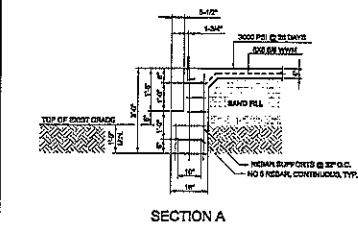
FLOOR PLAN
SCALE: 1/4" = 1'-0"
ALL CEILINGS 8' U.N.



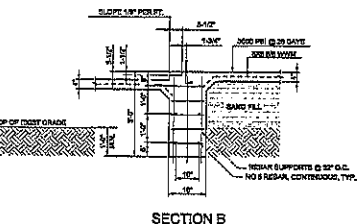
FRAMING PLAN
SCALE: 1/4" = 1'-0"

1. ALL CONCRETE SHALL BE 1500psi PER CUBIC FOOT DENSITY AND SHALL ATTAIN A MINIMUM COMPRESSIVE STRENGTH OF 3000psi.
2. ALL SLABS SHALL HAVE 4" THICK CONCRETE WITH ONE #6 WIRE MESH OR #3 BARS 24" ON CENTER EACH WAY. ALL SLABS TO HAVE A 5 MIL. WATERPROOF MEMBRANE OVER BONDED THERMITE TREATMENT.

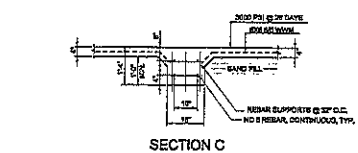
3. FOOTING SHALL BE A MINIMUM OF 12 INCHES BELOW NATURAL UNDISTURBED SOIL PER IS.
4. FOOTING SHALL BE REINFORCED WITH 4 #5 BARS EACH WAY 24" ON CENTER. REINFORCING SHALL BE PLACED 3" FROM THE BOTTOM.
5. OVERLAP ALL REBAR 30 BAR DIAMETERS, MINIMUM.
6. ITEM PLATES SHALL BE ANCHORED WITH 5/8" X 12" ANCHOR BOLT, W/OT LUG, SPACED 24" O.C., AND SHALL HAVE A 3" SQ. PLATE WELDER WITH HEX NUT.
7. RIVER SAND OVER COMPACTED BACK SHALL BE USED WITH ALL FILL COMPACTED TO 95% MAX. DENSITY.
8. ALL AREAS WITHIN THE FOUNDATION WALLS SHALL BE CLEARSED FREE OF ALL VEGETATION, TOP SOIL & POTENTIAL PLANTERS.
9. OWNER OR HIS AGENT IS RESPONSIBLE FOR FINAL DESIGN OF FOUNDATION & VERIFICATION OF EXISTING SOIL BEARING CONDITIONS.



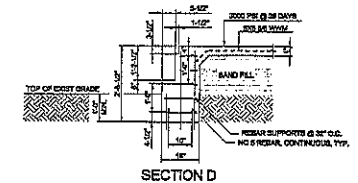
SECTION A



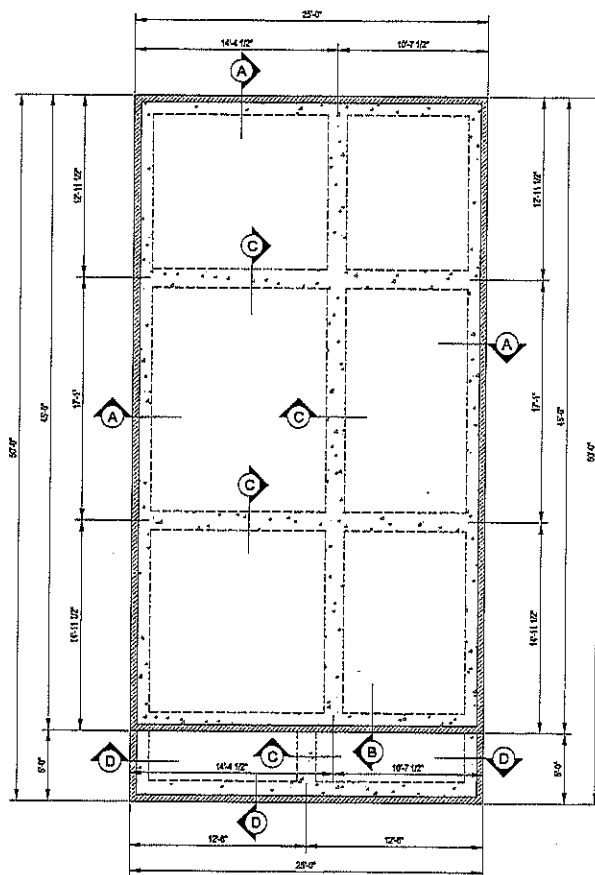
SECTION B



SECTION C



SECTION D



FOUNDATION PLAN

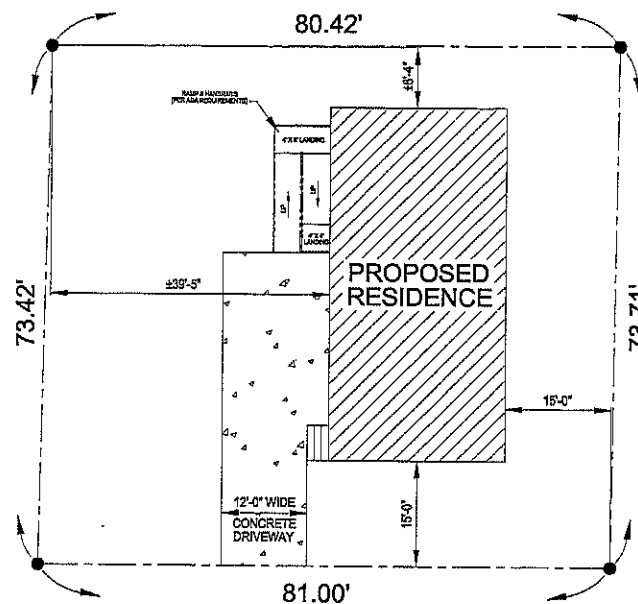
SCALE 1/4" = 1'-0"

NOTES:

1. 4" THICK REINFORCED CONCRETE,
3000 PSI @ 28 DAYS, TYPICAL
2. 6x6, 60 WELDED WIRE MESH, TYPICAL
OVER 8 MIL VISQUEENE VAPOR BARRIER
3. CONCRETE CONTRACTOR SHALL VERIFY
LOCATION OF ELECTRICAL & PLUMBING
CONDUITS & DRAIN LINES PRIOR TO
POURING SLAB.

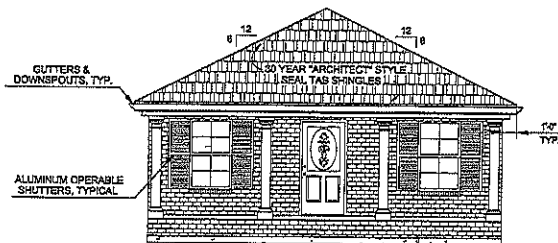
ELEVATION NOTE: TOP OF CONCRETE ELEVATION SHALL BE DETERMINED IN ACCORDANCE WITH BASE FLOOD ELEVATION REQUIREMENTS AS SHOWN BY AN ELEVATION CERTIFICATE ISSUED BY A REGISTERED LAND SURVEYOR

UNLESS REQUIRED OTHERWISE BY FEMA BASE FLOOD, TOP OF CONCRETE IS ASSUMED AT 24" ABOVE EXISTING GRADE CONTRACTOR IS RESPONSIBLE TO DETERMINE FINAL T.O.C.



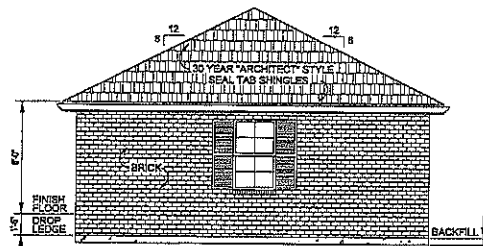
SITE PLAN

SCALE: 1/8" = 1'-0"



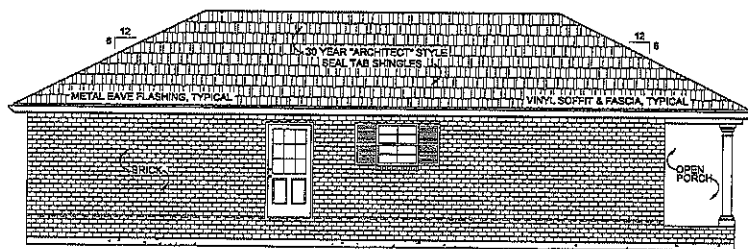
FRONT ELEVATION

SCALE: 1/4" = 1'-0"



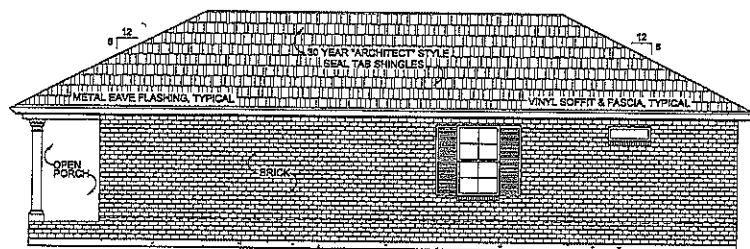
REAR ELEVATION

SCALE: 1/4" = 1'-0"



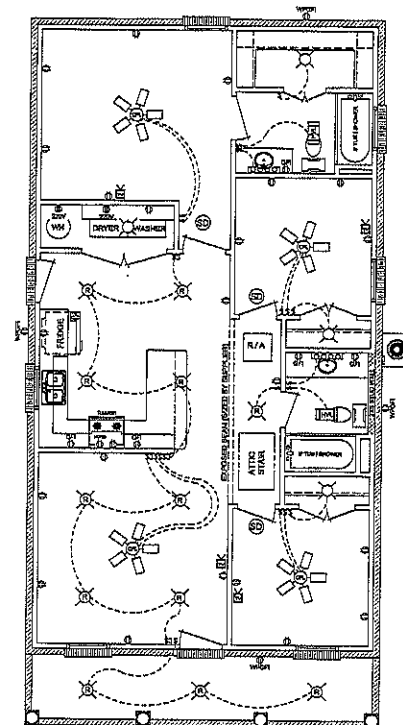
LEFT SIDE ELEVATION

SCALE: 1/4" = 1'-0"



RIGHT SIDE ELEVATION

SCALE: 1/4" = 1'-0"



ELECTRICAL PLAN

SCALE: 1/4" = 1'-0"

ELECTRICAL

1. ELECTRICAL CONTRACTOR SHALL BE RESPONSIBLE FOR DETERMINING THE QUALITY AND CORRECT SIZE OF ALL CIRCUITS AND ALL ELECTRICAL COMPONENTS. ALL ELECTRICAL WORK SHALL MEET ALL LOCAL AS WELL AS THE NATIONAL ELECTRICAL CODE IN EFFECT AT TIME OF CONSTRUCTION.
2. LOCATION OF ELECTRICAL METER & MAIN DISTRIBUTION PANEL SHALL BE DETERMINED DURING CONSTRUCTION AS PER LOCALLY ADOPTED BUILDING CODES.
3. ALL BURIED ELECTRICAL WIRING TO BE VENTED TO COME ON TOGETHER AND SHALL BE LOCATED PER IBC.
4. HEATER VENT LOCATIONS ARE TO BE VENTED TO OUTSIDE.
5. PROVIDE NECESSARY UTILITIES & LIGHTING FOR UNITS LOCATED IN ATTIC.
6. ALL OUTDOOR SHALL HAVE AN OVERHEAD PER IBC.
7. ALL OUTLETS OVER KITCHEN COUNTERTOPS, BATHROOM, UTILITY ROOMS, WUD ROOMS, AND OUTDOOR AREAS SHALL HAVE GROUND FAULT CIRCUIT INTERRUPT PROTECTION PER IBC.

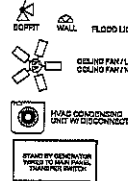
CODE REFERENCE:
IBC AND CECOS REFERENCE
2014 NATIONAL ELECTRICAL CODE
ELECTRICAL CONTRACTOR

CONTRACTOR'S LICENSE NUMBER

CONTRACTOR'S ADDRESS

CONTRACTOR'S PHONE

- 110 V DUPLEX FLOOR RECEPTACLE
- 110 V DUPLEX RECEPTACLE
- 110 V DUPLEX RECEPTACLE
- CEILING MOUNTED 110V DUPLEX RECEPTACLE
- 220 V RECEPTACLE
- 220 V DISCONNECT FOR A/C COMPRESSOR
- 110 V DUPLEX RECEPTACLE
- GROUND FAULT ISOLATED CIRCUIT
- 110 V DUPLEX RECEPTACLE
- GROUND FAULT ISOLATED CIRCUIT
- WITH WEATHER-PROOF COVER
- TELEPHONE JACK
- TELEVISION CABLE JACK
- CARBON MONOXIDE DETECTOR PER IBC 2012 P01.1
- BANGWATER DETECTOR
- DOOR BELL
- EXHAUST DISPOSAL UNIT W/SP
- 2 LIGHT 4 FT FLUORESCENT
- 4 LIGHT 4 FT FLUORESCENT
- SHOULDER POLE SWITCH
- TOGGLE SWITCH
- DINER SWITCH
- CEILING LIGHT FIXTURE
- PORCELAIN ATTIC LIGHT FIXTURE
- RECESSED DOWNLIGHT FIXTURE
- PENDANT MOUNTED FIXTURE
- RECESSED FIXTURE AS PER OWNER
- WALL MOUNTED EXTERIOR GAS LIGHT FIXTURE
- WALL MOUNTED EXTERIOR LIGHT FIXTURE
- HANGING FIXTURE AS PER OWNER
- WALL MOUNTED ADDRESS LIGHT
- HEATER VENT / LIGHT
- VENTED TO OUTSIDE OF HOUSE
- FLUORESCENT LIGHT WITH MOTION SENSOR
- CEILING FAN / LIGHT
- CEILING FAN / NO LIGHT
- TRANSFORMER UNIT W/ DISCONNECT



MAIN DISTRIBUTION PLANE(S)
SIZED BY ELECTRICAL CONTRACTOR
LOCATION DETERMINED BY SERVICE PROVIDER

OPTIONS FOR AFFORDABLE HOUSING
207 AUTHENT ST.
HOUMA, LA 70383



NO.	REVISION	DATE	BY	DATE	BY	DATE	BY
128		5-17-18	FOR CONSTRUCTION	128		5-17-18	
0				128			
1250 SF							

207 AUTHEMENT STREET



TERREBONNE PARISH CONSOLIDATED GOVERNMENT
URBAN SERVICES DISTRICT

BOARD OF ADJUSTMENT

P.O. BOX 2768
HOUMA, LA 70361

NO APPLICATION ACCEPTED UNLESS COMPLETE

Complete the following:

☐ Special Exception ☒ Structure Variance ☐ Administrative Appeal

2.	Applicant's Name:	<div>SignArt Company Inc (Angela McEathron / Matt Snyder)</div>	
3.	Applicant's Address:	<div>2933 Mondovi Rd Eau Claire WI 54701</div>	
4.	Applicant's Phone:	<div>715.834.5127</div>	
5.	Physical Address Of request:	<div>1548 Martin Luther King Blvd Houma LA 70360</div>	
6.	Interest in Ownership:	<div>100 %</div>	7. Date of Application: <div>06.11.2019</div>
8.	Explanation of Request:	<div>We are asking to add a "STIHL" sign to the front facade of the Northern Tool + Equipment tenant space. This variance is being requested by the business owner as a way to best utilize the property's assets. Visibility is the key to a businesses' success and the tenant is asking to advertise one of the products they sell.</div>	

Zone : C-2 Overlay
Council : 3
File : Bayou Canal

POLICY

Special Exception

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- b) That the full development is designed and intended to serve the district in which the development is sought to be operated and maintained;
- c) That the exception is essential to maintain the functional design and architectural integrity of the development;
- d) That the exception will not substantially or permanently injure the appropriated use of adjacent conforming property in the same district;
- e) That the exception will not alter the essential character of the district in which is located the property for which the exception is sought;
- f) That the exception will not weaken the general purposes of this ordinance or the regulations herein established for the specific district;
- g) That the exception will be in harmony with the spirit and purposes of this ordinance;
- h) That the exception will not adversely affect the public health, safety, or welfare, or the Master Plan.

Variance

Where by reasons of exceptional narrowness, shallowness or shape of a specified piece of property at the time of enactment of the ordinance from which this section derives or by reason of exceptional topographic conditions or other extraordinary or exceptional characteristics of such piece of property, the strict application of any regulation in this chapter would result in peculiar and exceptional or undue hardship upon the owner of such property, the Board may authorize, upon an appeal relating to such property, a variance from such strict application so as to relieve such difficulties or hardship, provided such relief may be granted without substantial detriment to the public good and without substantially impairing the intent and purpose of this chapter. Variances shall be subject to such terms and conditions as may be fixed by the Board. No variance shall be authorized unless the Board shall find that all of the following conditions exist:

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- g) That the variance will be in harmony with the spirit and purposes of this chapter;
- h) That the variance will not adversely affect the public health, safety, or welfare or the master plan.

Application Fee: Make checks payable to TPCG.

Structure Variance: \$ 20.00 per application + cost of certified mailings.

Special Exception: \$ 10.00 per application + cost of certified mailings.

Angela R Mc Athron
Signature of Applicant or Agent

[Signature]
Signature of Applicant or Agent

The undersigned is owner(s) of the entire land area included in the proposal and in signing indicates concurrence with the application.

Vallie Besthoff
Signature of Owner

6/25/2019

Date

9. Adjacent Property Owners:

Please provide a list of property owners located within 250 feet radius of the subject property along with this application. These property owners shall be notified in the following manner: Notification shall be sent by Parish Staff by certified mail to the applicant and to the adjacent property owners and by first class mail to all remaining property owners within a two hundred fifty-foot (250') radius. The notice shall advise the purpose, date, time and place of the hearing. The cost of any certified mail postal fees associated with the notification process shall be borne by the applicant. Cost for each mail will be consistent with the USPS current rates. Application fees are non-refundable once public notices have been issued.



Building West Elevation with Sign Location

SCALE: 1/16" = 1'-0"

CUSTOMER INFORMATION

Customer: Northern Tool and Equipment

Address: Houma, LA

Sales: Matt Snyder

DRAWING INFORMATION

File Name: NTE Houma, LA
Front Elevation
Stihl Addition
REV A 5-21-19

Date: REV A 5-21-19

Revisions:

Scale: 1/16" = 1'-0" at 11" x 17"

Page: 4 of 4

Designer: Elizabeth Bremer

Customer/
LL Approval:



SignArt Company

Eau Claire, WI
715-834-5127
800-235-5178

St. Paul, MN
651-688-0563
800-699-0563

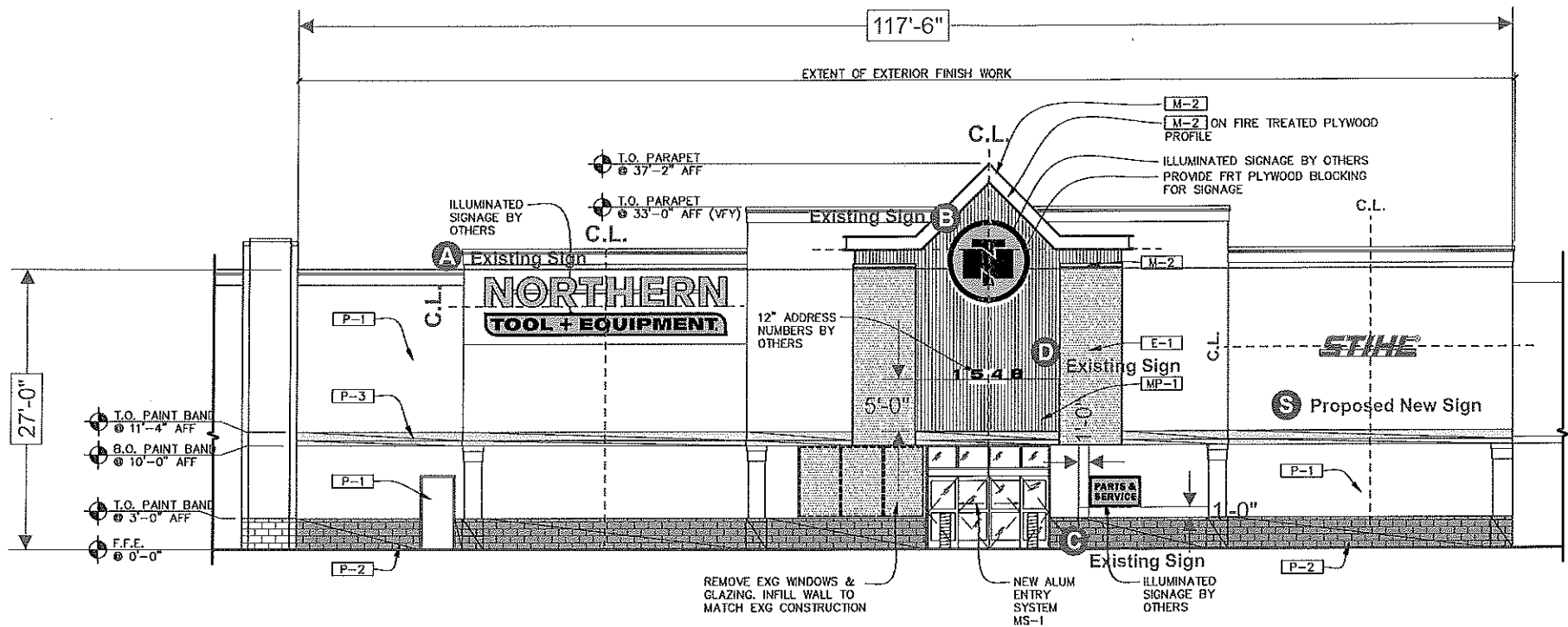
www.signartusa.com



This drawing was created to assist you in visualizing our proposal. It is the property of Sign Art Company and may not be used or reproduced by others.

INSTALLATION INSTRUCTIONS:

CENTER the (Stihl letterset) Left to Right in the space as shown.
CENTER the (Stihl letterset) Up and Down in the space as shown.



1 EAST ELEVATION
A3.1 1/8"=1'-0"

East Elevation Wall Area: 3,172.5 sq. ft.

Sign Specifications:
Front West Elevation

S Internally Illuminated (LED)
Channel Letters
Raceway Mounted

Letter Faces: Translucent #2119 Orange Acrylic faces
Registered Trade Mark Face: Translucent #7328 White Acrylic Face
with applied Orange Vinyl overlay

5 3/8" Returns & Trimcaps:
Orange

LEDs:
white

Raceway and Bridge:
8" extruded bottom mount Aluminum Raceway
with Aluminum Bridge between "L" and "Registered Trademark"
painted to match wall

SCALE: 1/2" = 1'-0"



CUSTOMER INFORMATION

Customer: Northern Tool and
Equipment

Address: Houma, LA

Sales: Matt Snyder

DRAWING INFORMATION

File Name: NTE Houma, LA
Front Elevation
Stihl Addition
REV A 5-21-19

Date: REV A 5-21-19

Revisions:

Scale: 1/2" = 1'-0" at 11" x 17"

Page: 2 of 4

Designer: Elizabeth Bremer

Customer/
LL Approval:



SignArt Company

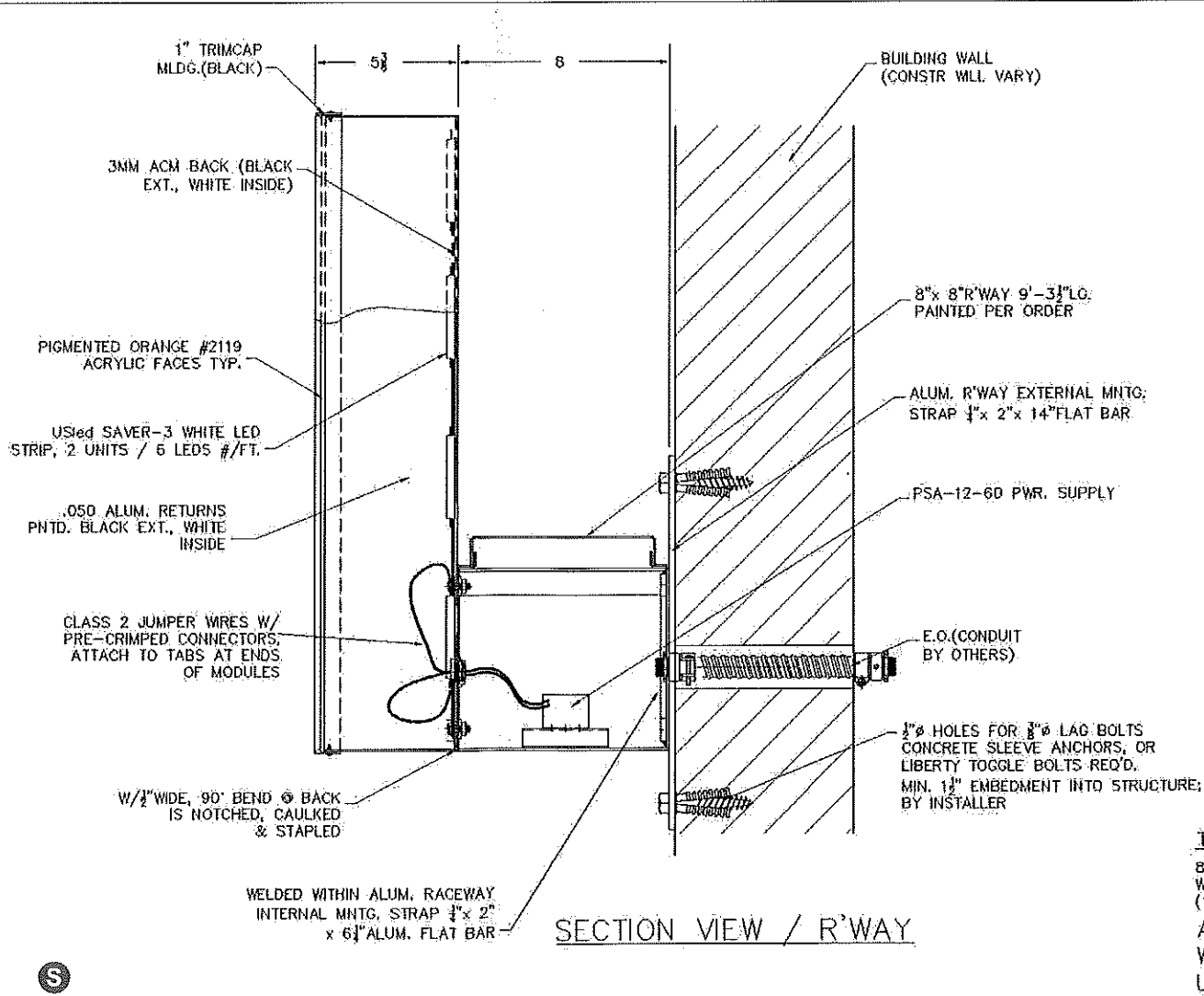
Eau Claire, WI
715-834-5127
800-235-5178

St. Paul, MN
651-688-0563
800-699-0563

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our proposal. It is the property of Sign Art Company
and may not be used or reproduced by others.



TOTAL ELECTRICAL REQ'TS.
84 UNITS @ 42'-0" LG., USED 'SAVER-3'
WHITE LEDS; 2 UNITS (6 LEDS FT.)
(1) PSA-12-60 POWER SUPPLY
AMPS: .63
WATTS: 55.44
U.L. LABEL: STD.

1548 MARTIN LUTHER KING BOULEVARD



TERREBONNE PARISH CONSOLIDATED GOVERNMENT
URBAN SERVICES DISTRICT

BOARD OF ADJUSTMENT

P.O. BOX 2768
HOUMA, LA 70361

NO APPLICATION ACCEPTED UNLESS COMPLETE

Complete the following:

☒ Special Exception ☐ Structure Variance ☐ Administrative Appeal

2. Applicant's Name:

Terre South Investments Inc

3. Applicant's Address:

P.O. Box 1866
Houma, LA 70361

4. Applicant's Phone:

985- 872 4388

5. Physical Address
Of request:

1426 Valhi Blvd

6. Interest in Ownership:

Terre South
INV., INC

7. Date of
Application:

6/20/19

8. Explanation of
Request:

Zone: I-1
Crawfish
Fair: B.Case

Construct concrete & limestone driveway and parking
which will incorporate the use of two main ingress/
egress points thru the placement of signage and/or
striping on the driveway surface which will provide
management, while allowing occasional larger truck
movements, as per Board of Adjustments # 15-09
as per attached sketch. Work to be done @
POLICY

Special Exception

Board of Adj. No 15-09 approved similar Request. See Enclosure Parish

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- That the exception will not adversely affect the public health, safety, or welfare, or the Master Plan.

Variance


Where by reasons of exceptional narrowness, shallowness or shape of a specified piece of property at the time of enactment of the ordinance from which this section derives or by reason of exceptional topographic conditions or other extraordinary or exceptional characteristics of such piece of property, the strict application of any regulation in this chapter would result in peculiar and exceptional or undue hardship upon the owner of such property, the Board may authorize, upon an appeal relating to such property, a variance from such strict application so as to relieve such difficulties or hardship, provided such relief may be granted without substantial detriment to the public good and without substantially impairing the intent and purpose of this chapter. Variances shall be subject to such terms and conditions as may be fixed by the Board. No variance shall be authorized unless the Board shall find that all of the following conditions exist:

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Application Fee: Make checks payable to TPCG.

Structure Variance: \$ 20.00 per application + cost of certified mailings.

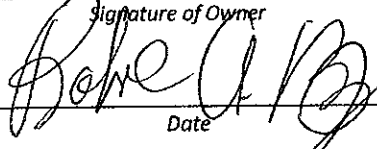
Special Exception: \$ 10.00 per application + cost of certified mailings.


Signature of Applicant or Agent

Robert A. Burns, Jr.

Signature of Applicant or Agent

The undersigned is owner(s) of the entire land area included in the proposal and in signing indicates concurrence with the application.

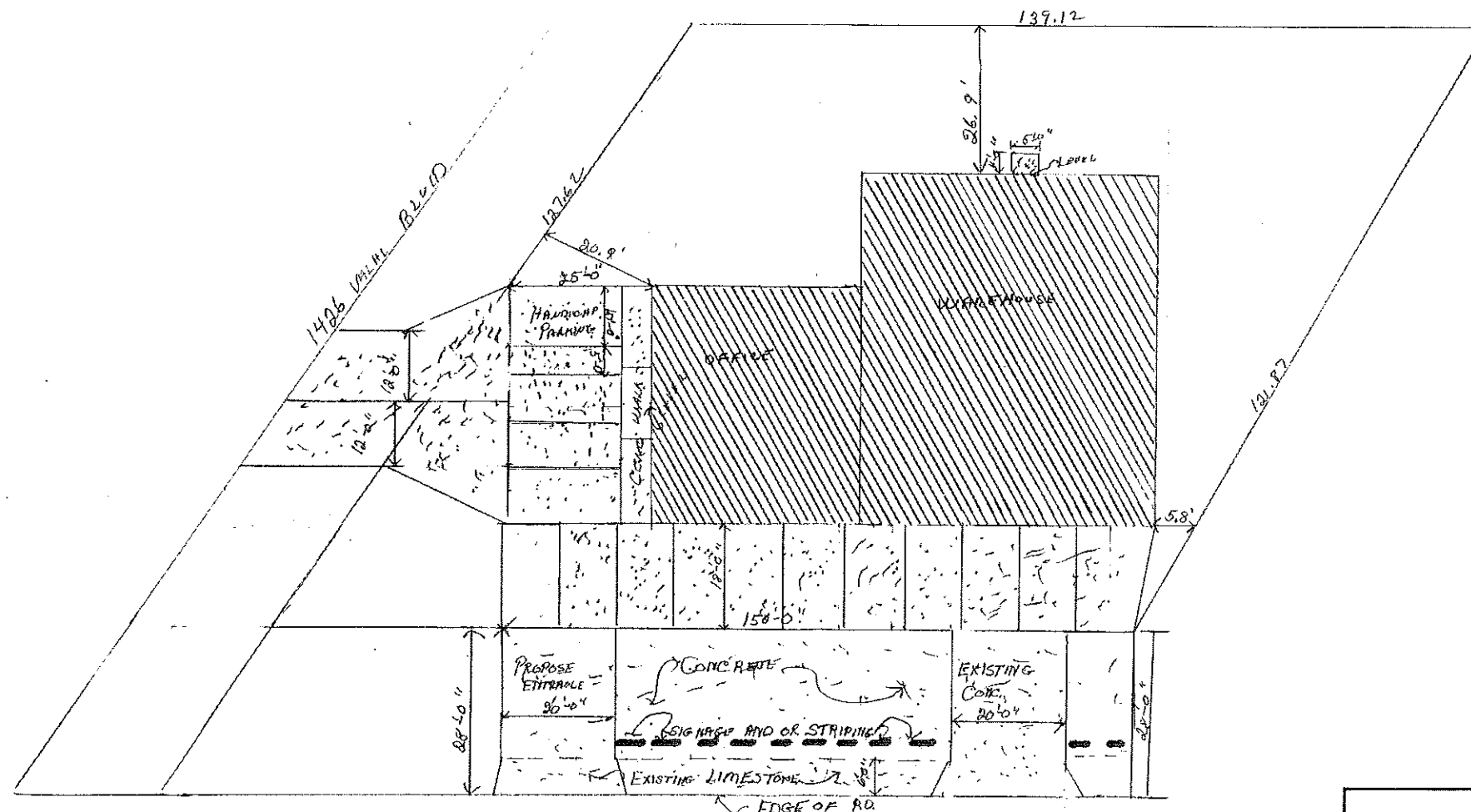
Terre South Investments, Inc by

Signature of Owner

Date

9. Adjacent Property Owners:

Please provide a list of property owners located within 250 feet radius of the subject property along with this application. These property owners shall be notified in the following manner:
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CAPITAL BLVD

CAPITAL COMMERCIAL DEVELOPMENT

SCALE 1/16" = 1'-0"

SCALE:	APPROVED BY:	DRAWN BY:
DATE:		REVISED:
		DRAWING NUMBER:



TERREBONNE PARISH CONSOLIDATED GOVERNMENT
URBAN SERVICES DISTRICT

BOARD OF ADJUSTMENT

P.O. BOX 2768
HOUMA, LA 70361

NO APPLICATION ACCEPTED UNLESS COMPLETE

Complete the following:

☐ Special Exception ☐ Structure Variance ☐ Administrative Appeal

☒ Sign Variance

2. Applicant's Name:

Craig Carman / Nice Signs Inc.

3. Applicant's Address:

2147 Marion Drive
La Place, LA 70068

4. Applicant's Phone:

(504) 559-8514

5. Physical Address
Of request:

1708 Martin Luther King Blvd, Ste 02
Houma, LA 70360

6. Interest in Ownership:

OWNER

7. Date of
Application:

1/2/17

8. Explanation of
Request:

VARIOUS T-SHIRT FOR
PLACEMENT OF SECOND
FACADE SIGN ON COMMERCIAL
BLVD IN OVERSEAS DISTRICT

Zone C-2
Front - 3
Side - B.C. one

POLICY

Special Exception

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- That the exception will be in harmony with the spirit and purposes of this ordinance;
- That the exception will not adversely affect the public health, safety, or welfare, or this Master Plan.

Variance

Where by reasons of exceptional narrowness, shallowness or shape of a specified piece of property at the time of enactment of the ordinance from which this section derives or by reason of exceptional topographic conditions or other extraordinary or exceptional characteristics of such piece of property, the strict application of any regulation in this chapter would result in peculiar and exceptional or undue hardship upon the owner of such property, the Board may authorize, upon an appeal relating to such property, a variance from such strict application so as to relieve such difficulties or hardship, provided such relief may be granted without substantial detriment to the public good and without substantially impairing the intent and purpose of this chapter. Variances shall be subject to such terms and conditions as may be fixed by the Board. No variance shall be authorized unless the Board shall find that all of the following conditions exist:

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Application Fee: Make checks payable to TPOG.

Structure Variance: \$20.00 per application + cost of certified mailings.

Special Exception: \$10.00 per application + cost of certified mailings.

Craig A. Carman, President
Signature of Applicant or Agent

Signature of Applicant or Agent

The undersigned is owner(s) of the entire land area included in the proposal and in signing indicates concurrence with the application.

André Brunel /André Brunel
Signature of Owner

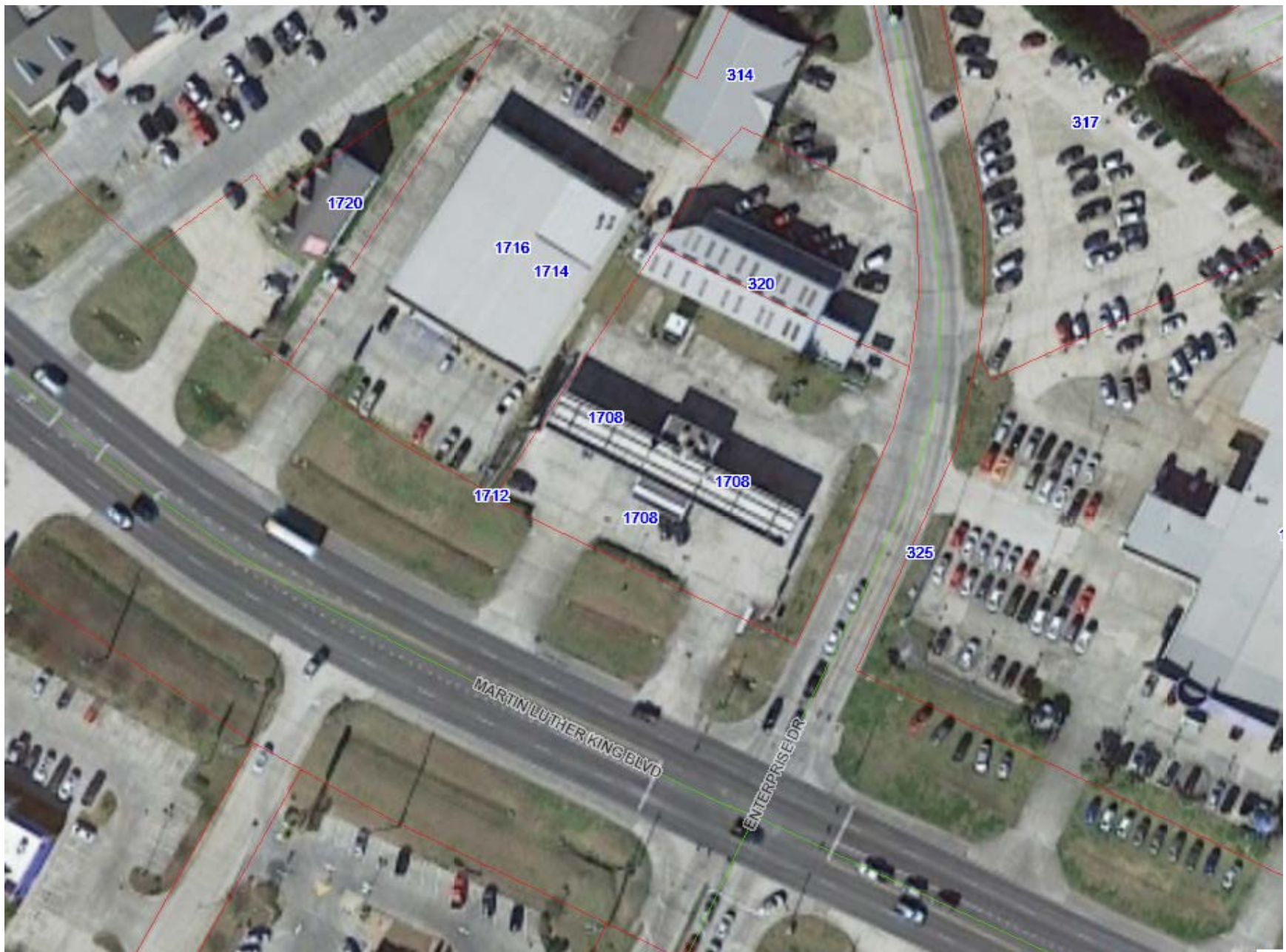
06/28/19

Date

5. Adjacent Property Owners

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EXISTING



PROPOSED


Store Front Facing MLK Street



Side Wall Facing North

Stanton Optical
1708 MLK
Houma, LA70073

Identical signs are already installed on both front (West) street side and side (North) parapet walls. Each sign is 60" High by 11'-0" Wide. Each sign is 55 square feet.

COLORS	
	3M #3635-0171 DK. GRAY DAY/NIGHT VINYL
	C:0 M:60 Y:100 K:0

COLOR DESCRIPTION IS FOR REFERENCE ONLY. SAMPLES PROVIDED UPON REQUEST AFTER ORDER PLACEMENT.

Stanton Optical
1708 MLK
Houma, LA70073

Identical signs are already installed on both front
(West) street side and side (North) parapet walls.
Each sign is 60" High by 11'-0" Wide.
Each sign is 55 square feet.

24" 33.5"

60"

11'-0"

Stanton
OPTICAL

1708 MARTIN LUTHER KING BOULEVARD



TERREBONNE PARISH CONSOLIDATED GOVERNMENT
URBAN SERVICES DISTRICT

BOARD OF ADJUSTMENT

P.O. BOX 2768
HOUMA, LA 70361

NO APPLICATION ACCEPTED UNLESS COMPLETE

BOA Meeting
July 22, 2019
3:30 pm
Council Meeting Room
Berda Henderson
(985) 973-6567

Complete the following:

☐ Special Exception ☒ Structure Variance ☐ Administrative Appeal

2. Applicant's Name: Brandon & Macy Duplantis - Kevin Barlow
3. Applicant's Address: 671 Lancaster Drive
Houma, LA 70360
4. Applicant's Phone: 985-870-6765 985-855-7321 856-1186 - Kevin
5. Physical Address Of request: 339 Karoline Elizabeth
Houma, LA 70360
6. Interest in Ownership: 100% 7. Date of Application: 7/8/19
8. Explanation of Request: Need Rear Variance
(Approximately 2 ft.)
Rear setback from reg. 25' to 23'
for new construction. R-1
council - 8
Fair - City

POLICY

Special Exception

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Adjunct
4/7. 38

Variance

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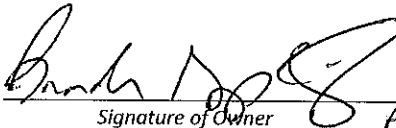
Special Exception: \$ 10.00 per application + cost of certified mailings.



Signature of Applicant or Agent
Kevin Benton


Signature of Applicant or Agent

The undersigned is owner(s) of the entire land area included in the proposal and in signing indicates concurrence with the application.



Signature of Owner
7/8/19

Date



Mary B Duplante
Brandon Duplante

9. Adjacent Property Owners:

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Hardship Statement:

339 Karoline Elizabeth

Due to the lot size, in order to meet the front setback requirements, applicant is requesting a small, 2' rear variance on one section of the rear of the house.

A handwritten signature in cursive script, reading "Kevin Burt". The signature is written in dark ink on a white background.

GENERAL NOTES

DOCUMENTS

1. SEE DRAWING NO. 1 FOR GENERAL NOTES.

FRAMING

1. ALL WORKMANSHIP AND MATERIALS SHALL CONFORM TO THE LATEST EDITION OF THE INTERNATIONAL RESIDENTIAL CODE AS ADOPTED BY THE STATE OF LOUISIANA.
2. ALL WALL COVERING TO BE 1/2" GWS. USE MOISTURE-RESISTANT GWS IN HIGH MOISTURE CONTACT AREAS NOT LESS THAN 6" ABOVE FINISHED FLOOR.
3. ALL INTERIOR DOOR OPENING LESS THAN OR EQUAL TO 36" SHALL HAVE DBL. 2x8 HEADERS UNLESS NOTED OTHERWISE. ALL EXTERIOR DOOR OPENINGS SHALL HAVE DBL. 2x12 HEADERS UNLESS NOTED OTHERWISE.
4. ALL VERTICAL FRAMING MEMBERS TO BE STUD GADE OR BETTER.
5. CUTS, NOTCHES, AND HOLES BORED IN LAMINATED VENEER LUMBER, GLUE LAMINATED MEMBERS OR JOISTS ARE NOT PERMITTED UNLESS THE EFFECTS OF SUCH PENETRATIONS ARE SPECIFICALLY CONSIDERED IN THE DESIGN OF THE MEMBER.
6. PLYWOOD ROOF SHEATHING SHALL BE NO LESS THAN 5/8" THICK CDX.
7. 3/4" x 36" WIDE CDX PLYWOOD SHALL BE USED FOR ATTIC WALKWAY IN ORDER TO ACCESS THE HVAC UNIT.

RESIDENCE FOR:
MR. & MRS. BRANDON DUPLANTIS
339 KAROLINE ELIZABETH STREET
HOUMA, LA. 70360

25' BUILDING SETBACK

5' BUILDING SETBACK

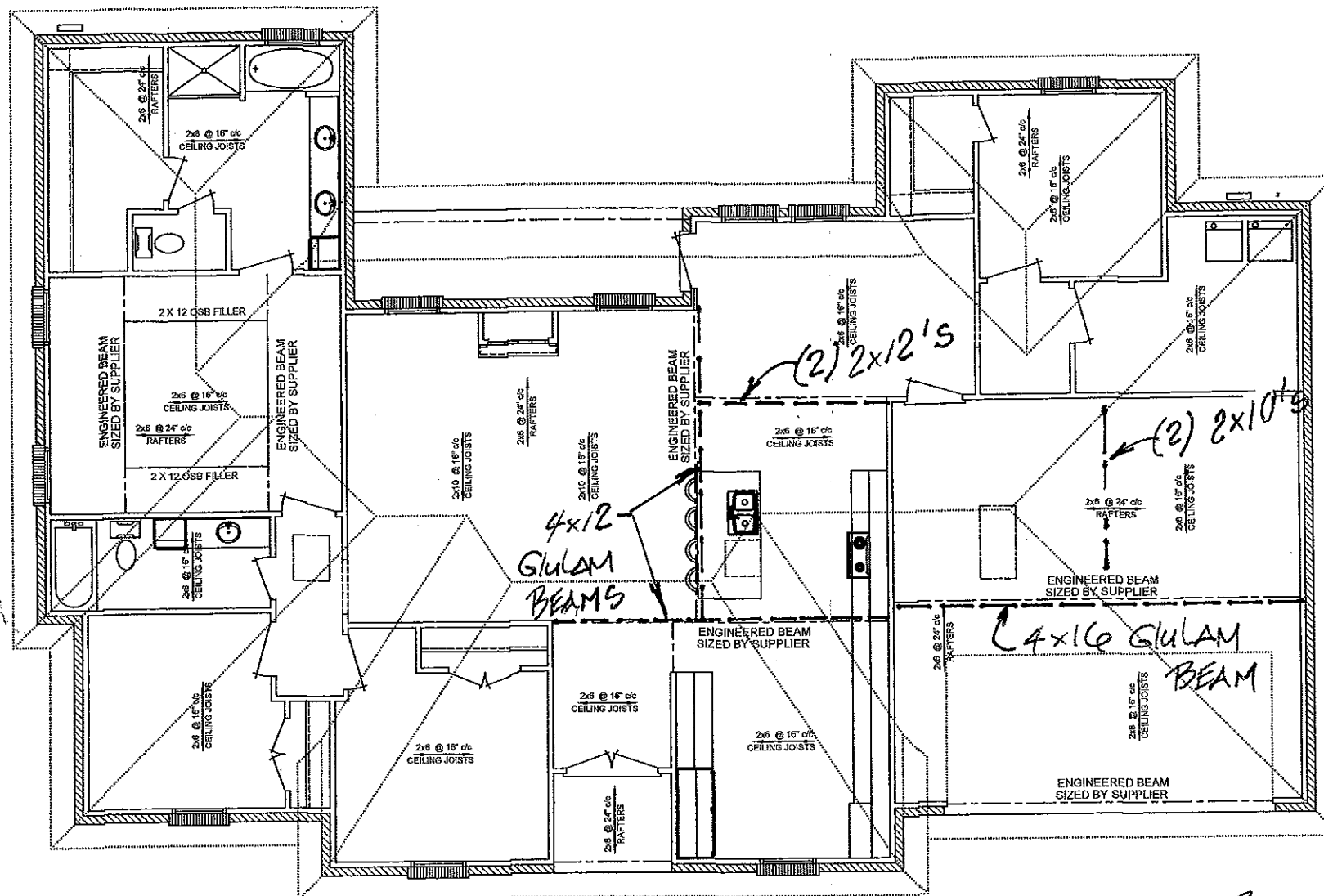
20' BUILDING SETBACK

CONCRETE DRIVEWAY

KAROLINE ELIZABETH STREET

PLOT PLAN

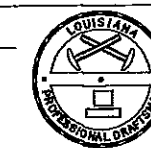
3/32" = 1'-0"



FRAMING PLAN

1/4" = 1'-0"

INDICATE BEAMS
REQ'D. FOR CEILING
AND ROOF BRACING



FRAMING PLAN & PLOT PLAN

CANTOR'S SERVICES
LLC
(985) 226-1804

2718 SQUARE FEET

LIVING AREA	2052 SQUARE FEET
DOUBLE GARAGE	530 SQUARE FEET
PATIO	101 SQUARE FEET
ALCOVE	35 SQUARE FEET

0	5-29-19	FOR CONSTRUCTION
REV	DATE	BY DESCRIPTION

REVISIONS

RESIDENCE FOR:

MR. & MRS. BRANDON DUPLANTIS
339 KAROLINE ELIZABETH STREET
HOUMA, LA. 70360

DR	DATE	SCALE	DWG NUMBER	REV
FC	4-25-19	1/4" = 1'-0"	1204-6	0

339 Karoline Elizabeth

